



7 Mallards Close, Alveley, Bridgnorth, WV15 6JL

BERRIMAN  
EATON



## 7 Mallards Close, Alveley, Bridgnorth, WV15 6JL

A well presented extended four bedroom detached home having a large open dining kitchen with an adjoining conservatory which offers an excellent versatile space. The rear garden is landscaped to create low maintenance upkeep together with a large driveway and garage to the front.

Kidderminster - 7 miles, Bridgnorth - 8 miles, Telford - 13 miles, Much Wenlock - 15 miles, Ludlow - 26 miles, Wolverhampton - 16 miles, Shrewsbury - 28 miles, Worcester - 21 miles, Birmingham - 24 miles.

(All distances are approximate).

### LOCATION

The village of Alveley offers a good selection of everyday amenities to include a general shop, takeaways, popular pubs, ,medical practice, vets, primary school and a recreation ground with children's play area. There is a part time post office and former chapel which has been converted to a cafe. The village also has a tennis club, cricket club and a variety of other active community and social groups. Of particular note is the Severn Valley Country Park, with its own cafe, which is on the outskirts of the village and sits alongside the River Severn and the Severn Valley Railway (with halt station) and connects a number of cycling and walking routes.

### ACCOMMODATION

7 Mallards Close has been extended over the years to create a four bedroom detached family home, beautifully presented throughout and offers generous, versatile living accommodation ideal for modern family life.

Upon entering the property via the covered front porch, the front door opens into an entrance hall with stairs rising to the first floor accommodation. The hall benefits from a useful understairs storage cupboard with plumbing and provision for a washing machine, along with a guest WC.

The heart of the home is the impressive open-plan dining kitchen, which is fitted with a range of matching base and wall cabinets with complementary worktops over. The kitchen incorporates a sink unit, a traditional gas AGA, and space and provisions for additional appliances. A stable door provides access to the side of the property.

Bi-fold doors open seamlessly from the dining kitchen into the lounge, which features a charming bay window to the front elevation and a fitted cast iron log burner set within a fireplace.

From the dining kitchen, patio doors lead into the adjoining conservatory, which offers an excellent and highly versatile additional living area. Currently utilised as a playroom and gym, this bright space enjoys views of the garden and has French doors opening directly onto the rear patio, making it ideal for both family use and entertaining.

To the first floor, the spacious landing benefits from a window to the side elevation, allowing natural light to flood the space. The principal bedroom overlooks the front of the property and enjoys the advantage of a private en-suite shower room. There are three further bedrooms, all served by a contemporary family bathroom fitted with a modern white suite comprising a WC, hand basin and a stylish freestanding bath. An airing cupboard houses the hot water tank and provides further storage.

### OUTSIDE

The property is set back from the road behind a generous driveway, providing ample off-road parking and access to the garage, which is fitted with an electric roller shutter door, lighting and power points. A pedestrian rear door provides convenient access from the garage into the garden.

To the rear, the landscaped garden has been designed for low maintenance enjoyment, featuring a artificial lawn and gravel borders planted with a variety of established shrubs. The garden is fully enclosed by fenced boundaries, offering a safe and private outdoor space.

### SERVICES

We are informed by our clients that all main services are connected. Verification should be obtained from your surveyor.

### COUNCIL TAX

Shropshire Council.  
Tax Band: D.  
[www.mycounciltax.org.uk/content/index](http://www.mycounciltax.org.uk/content/index)

### FIXTURES AND FITTINGS

By separate negotiation.

### VIEWING ARRANGEMENTS

Viewing strictly by appointment only. Please contact our Bridgnorth Office.

### DIRECTIONS

Leaving Bridgnorth on the A442 towards Kidderminster. On entering Alveley turn right into Daddlebrook Road and then first left into Bridge Road, then second left into Mallards Close, where number 7 is located along on the left hand side.

#### Tettenhall Office

01902 747744  
[tettenhall@berrimaneaton.co.uk](mailto:tettenhall@berrimaneaton.co.uk)

#### Lettings Office

01902 749974  
[lettings@berrimaneaton.co.uk](mailto:lettings@berrimaneaton.co.uk)

#### Bridgnorth Office

01746 766499  
[bridgnorth@berrimaneaton.co.uk](mailto:bridgnorth@berrimaneaton.co.uk)

#### Wombourne Office

01902 326366  
[wombourne@berrimaneaton.co.uk](mailto:wombourne@berrimaneaton.co.uk)

[www.berrimaneaton.co.uk](http://www.berrimaneaton.co.uk)

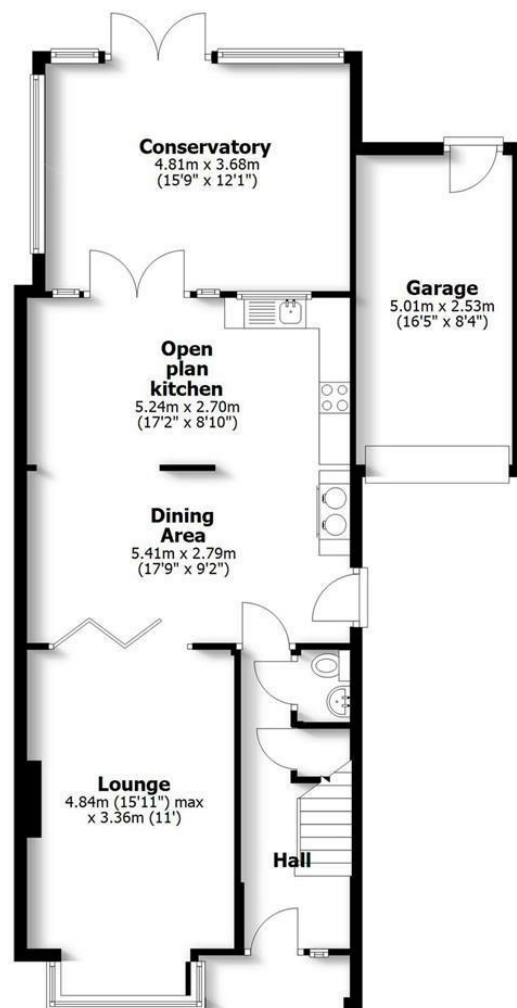
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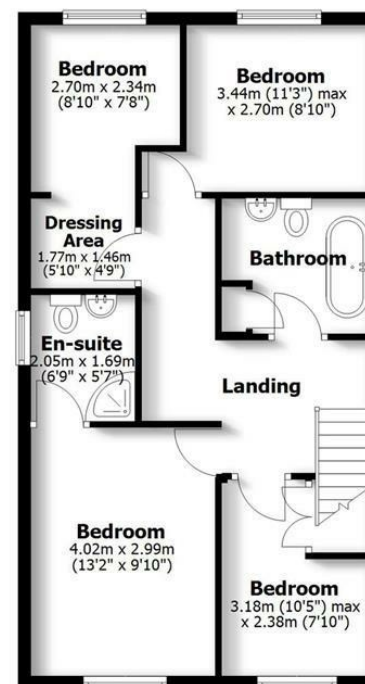
**IMPORTANT NOTICE:** Every care has been taken with the preparation of these Particulars but they are for general guidance only and complete accuracy cannot be guaranteed. Areas, measurements and distances are approximate and the text, photographs and plans are for guidance only. If there is any point which is of particular importance please contact us to discuss the matter and seek professional verification prior to exchange of contracts.



## 7 MALLARDS CLOSE ALVELEY, BRIDGNORTH



Ground Floor



First Floor

HOUSE: 134.2sq.m. 1,444.1sq.ft.  
GARAGE: 12.7sq.m. 136.5sq.ft.  
**TOTAL: 146.9sq.m. 1,580.6sq.ft.**

INTERNAL FLOOR AREAS ARE APPROXIMATE  
FOR GENERAL GUIDANCE ONLY - NOT TO SCALE  
POSITION & SIZE OF DOORS, WINDOWS, APPLIANCES  
AND OTHER FEATURES ARE APPROXIMATE



